

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM

BY-LAW 2015-22

Being a By-law to Amend Zoning By-law No. 2014-25

WHEREAS the Council of the Corporation of the Township of Chisholm deems it advisable to amend By-law No. 2014-25, as amended (the Comprehensive Zoning By-law of the Township of Chisholm).

NOW THEREFORE the Council of the Corporation of the Township of Chisholm ENACTS in accordance with Section 34 of the Planning Act, R.S.O. 1990, as amended, the following:

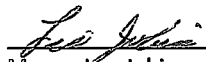
1. That a new sub-section be added in Section 4 -- General Provisions immediately following sub-section 4.27 as follows:

"Section 4.28

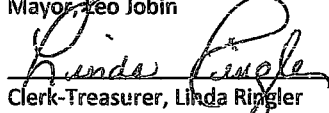
On the lands shown horizontally-hatched on Schedule "D" identified as Source Water Callander Issue Contributing Area (SWICA) the use of land for the storage of tailings from a mine or a mine tailings pond containing phosphorus are prohibited."

2. That Schedule "D" is inserted in zoning by-law number 2014-25, as amended immediately following Schedule "C".
3. Schedule "D", attached hereto, is hereby made part of this by-law.
4. Subject to Subsections 24(2) and 24(2.1)(b) of the Act, this by-law shall come into force on the day of passage and take effect on the day that the Official Plan Amendment necessary to establish the conformity described in Section 24(2) of the Act comes into force and takes effect.

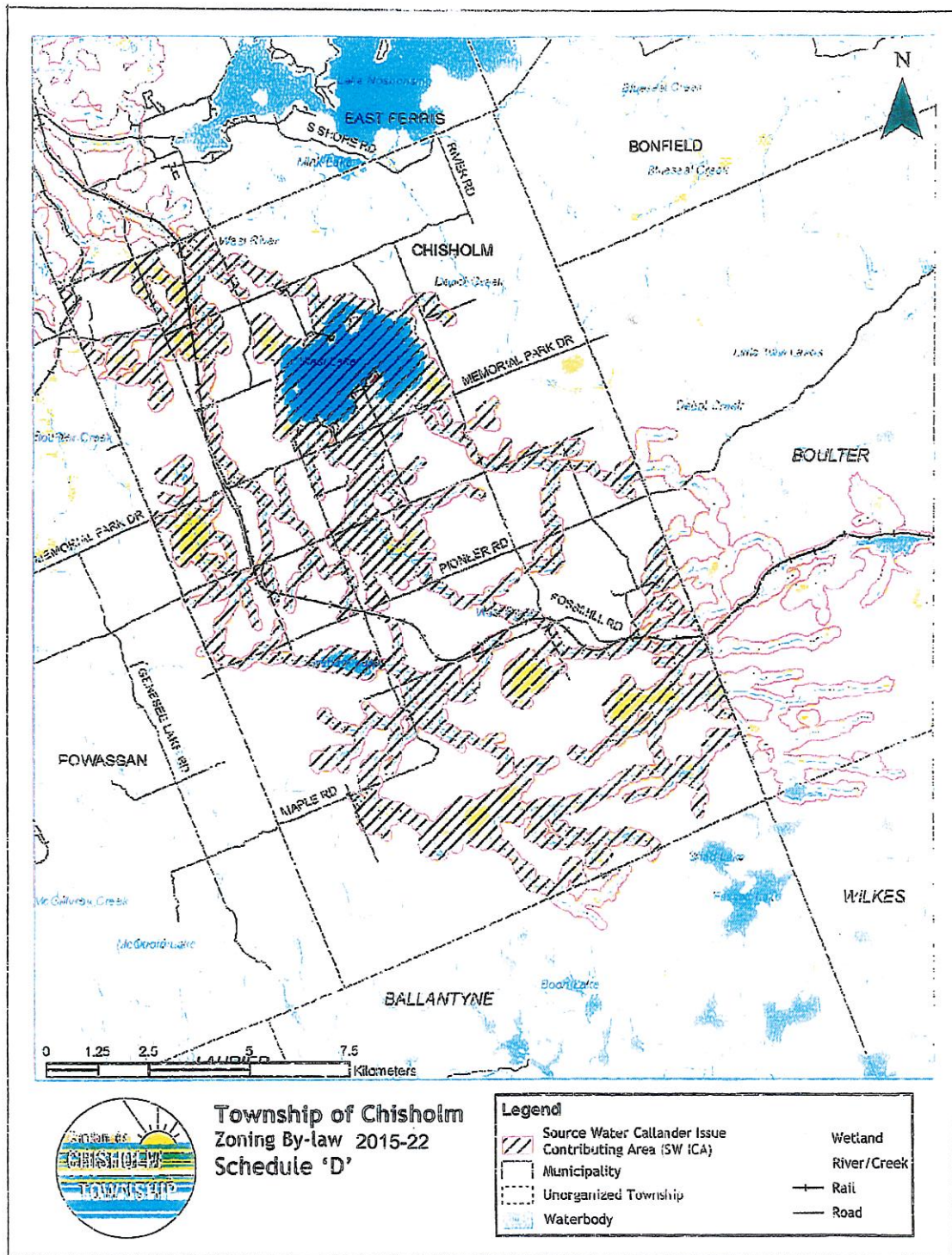
READ A FIRST, SECOND AND THIRD TIME AND PASSED THIS 23RD DAY OF JUNE, 2015.



Mayor, Leo Jobin



Clerk-Treasurer, Linda Ringler



THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NO. 2016-12

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands legally described as Part 1, Plan 36R-3883, PCL 23837, located in Part of Lot 10, Concession 8 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owner of the subject lands has filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it advisable to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'B', to Zoning By-law No. 2014-25, is amended by zoning lands legally described as Part 1, Plan 36R-3883, PCL 23837, located in Part of Lot 10, Concession 8, in the Township of Chisholm from the Agricultural (A) Zone to the Agricultural Exception (A-2) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, Zoning By-law 2014-25 as amended, is further amended by adding the following new sub-section after Section 8.2.1:

8.2.2 Secondary Dwelling Unit, 39 Maple Road


Notwithstanding the definition of "Secondary Dwelling Unit" and the applicable provisions for Secondary Dwelling Units in Section 4.3 of Zoning By-law 2014-25, on lands located in Part Lot 10, Concession 8 and located in the A-2 Zone, a Secondary Dwelling Unit is permitted and shall be defined as an attached secondary dwelling sharing a common wall with an existing principle detached dwelling unit. Furthermore the following provisions shall apply:

- a. *Maximum Floor Area of the existing detached dwelling: 165 sq. metres (1,767 sq. feet);*
 - b. *Maximum Floor Area of a secondary dwelling unit: 68.5 sq. metres (735 sq. feet);*
 - c. *The secondary dwelling unit may be connected to a separate private septic system independent of the private septic system serving the existing detached dwelling, subject to the approval of the North Bay Mattawa Conservation Authority; and,*
 - d. *Section 4.3, Items d) and f) shall apply.*
3. In all other respects, the provisions of By-law 2014-25, as amended, shall apply.

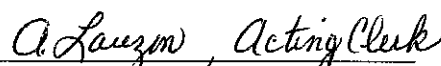
This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 9th day of May, 2016.

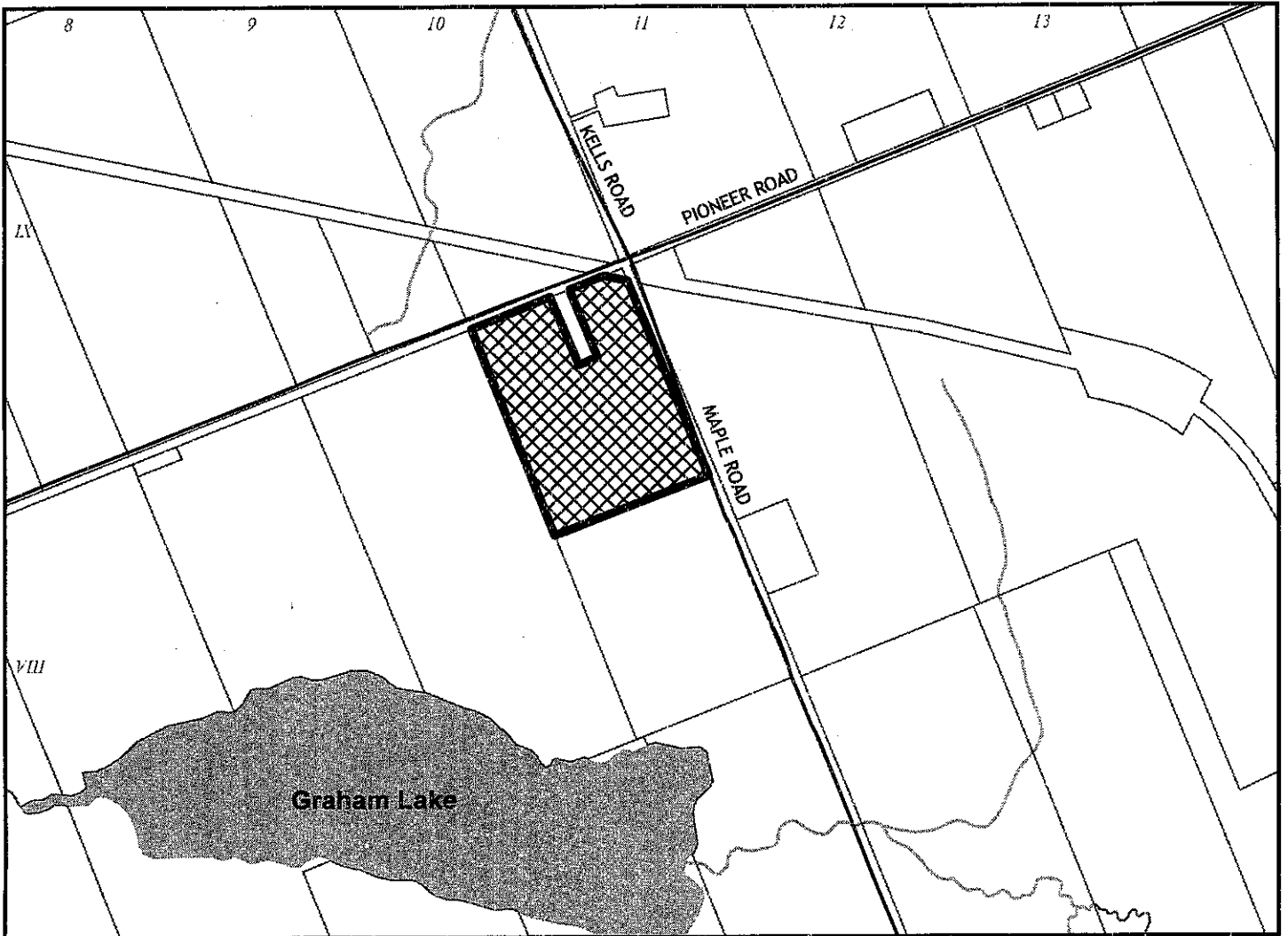
READ A THIRD TIME and finally passed this 9th day of May, 2016.



Mayor, Leo Jobin



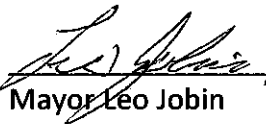
for Clerk-Treasurer, Linda Ringler

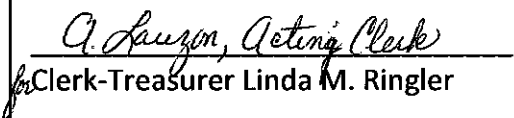


 Subject Lands

Schedule 'A-1' to By-law 2016-12
Amending Schedule 'B' to By-law 2014-25

Passed this 9th day of May, 2016.


Mayor Leo Jobin


for Clerk-Treasurer Linda M. Ringler

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NO. 2016-33

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands legally described as Part 1, Plan 36R-3094, PCL 23491, located in Part of Lot 24, Concession 18 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owner of the subject lands has filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it advisable to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'A', to Zoning By-law No. 2014-25 as amended, is further amended by zoning lands legally described as Part 1, Plan 36R-3094, PCL 23491, located in Part of Lot 24, Concession 18, in the Township of Chisholm from the Rural (RU) Zone to the Rural Exception (RU-9) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, Zoning By-law 2014-25 as amended, is further amended by adding the following new sub-section after Section 8.1.8:

8.1.9 Muttart Auto Repair Business

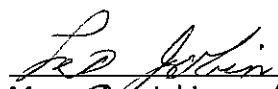
In addition to the applicable provisions and permitted uses of the Rural (RU) Zone, on lands legally described as Part 1, Plan 36R-3094, PCL 23491, located in Part of Lot 24, Concession 18 and located in the RU-9 Zone, an auto repair business and vehicle inspection station shall be a permitted accessory use to a rural residential use provided the total floor area of the auto repair building does not exceed 111.5 square metres (1,200 square feet). For the purpose of the RU-9 Zone, the minimum front yard requirement for the auto repair building shall be 67 metres and Section 4.8 (a), (d), (f), (g) and (i) of By-law 2014-25 shall apply. Furthermore for the purpose of the RU-9 Zone an Auto Repair Business shall be defined as follows:

A home based business where repair and maintenance services are performed on motor vehicles but shall not include the sale of motor vehicles or the salvage, storage and/or sale of derelict vehicles. In addition the retail sale of motor vehicle parts or the sale of gasoline or petroleum products shall not be permitted except where such parts or products are being sold or provided in conjunction with a repair or maintenance service. At no time shall there be more than 10 vehicles stored on-site on lands zoned RU-9 and such vehicles shall be parked in-line with or behind the front wall of the auto service building.

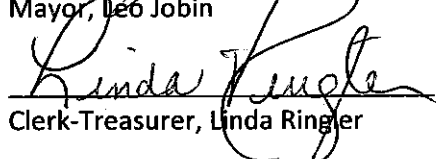
3. In all other respects, the provisions of By-law 2014-25 shall apply.

This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST, SECOND AND THIRD TIME and finally passed this 25th day of October, 2016.

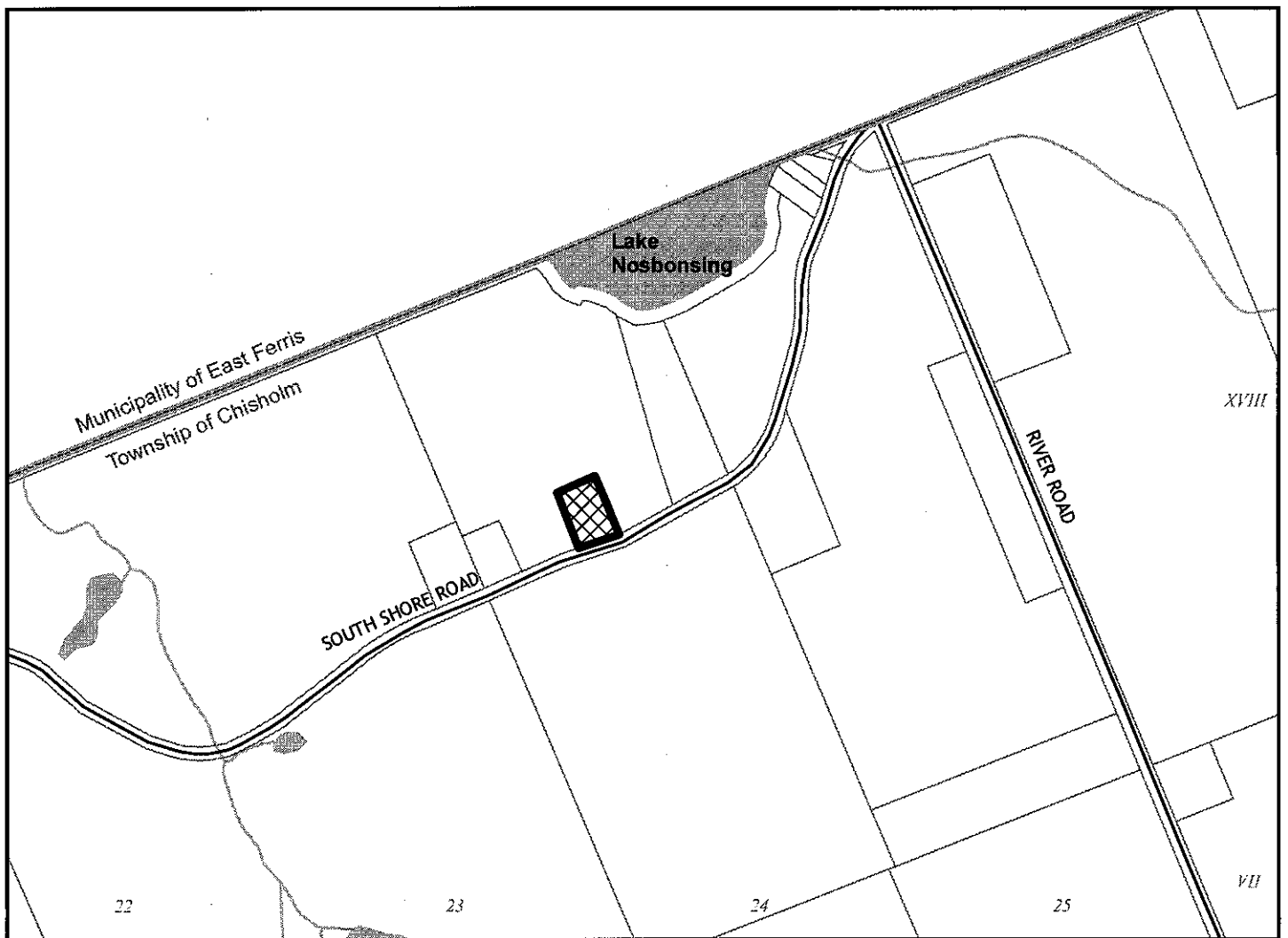


Mayor, Leo Jobin



Clerk-Treasurer, Linda Ringler

Schedule 'A-1'
By-law 2016-33
Part of Lot 24, Concession 18
Township of Chisholm

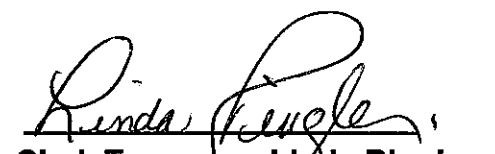


 Lands to be rezoned from the Rural (RU) Zone to the Rural Exception (RU-9) Zone

This is Schedule 'A-1' to By-law 2016-33

Passed this 25th day of October, 2016.


Mayor, Leo Jobin


Clerk Treasurer, Linda Ringler

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM

BY-LAW NO. 2016-34

(HOCHSTETLER)

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands legally located in Part of Lots 8 and 9, Concession 9, in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owner of the subject lands has filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it advisable to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'B', to Zoning By-law No. 2014-25 as amended, is further amended by zoning lands located in Part of Lots 8 and 9, Concession 9, in the Township of Chisholm from the Agricultural (A) Zone to the Agricultural Exception (A-2) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, Zoning By-law 2014-25 as amended, is further amended by adding the following new sub-section after Section 8.2.1:

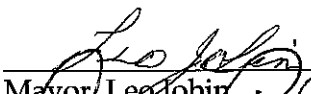
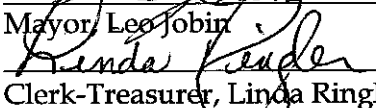
8.2.2 Hochstetler Pallet Manufacturing Business

In addition to the applicable provisions and permitted uses of the Rural (A) Zone, on lands located in Part of Lots 8 and 9, Concession 9 and located in the A-2 Zone, a pallet manufacturing business shall be a permitted use as a home industry and notwithstanding Section 4.8 (a), (b), (d) and (e), the following site-specific provisions shall apply to the A-2 Zone:

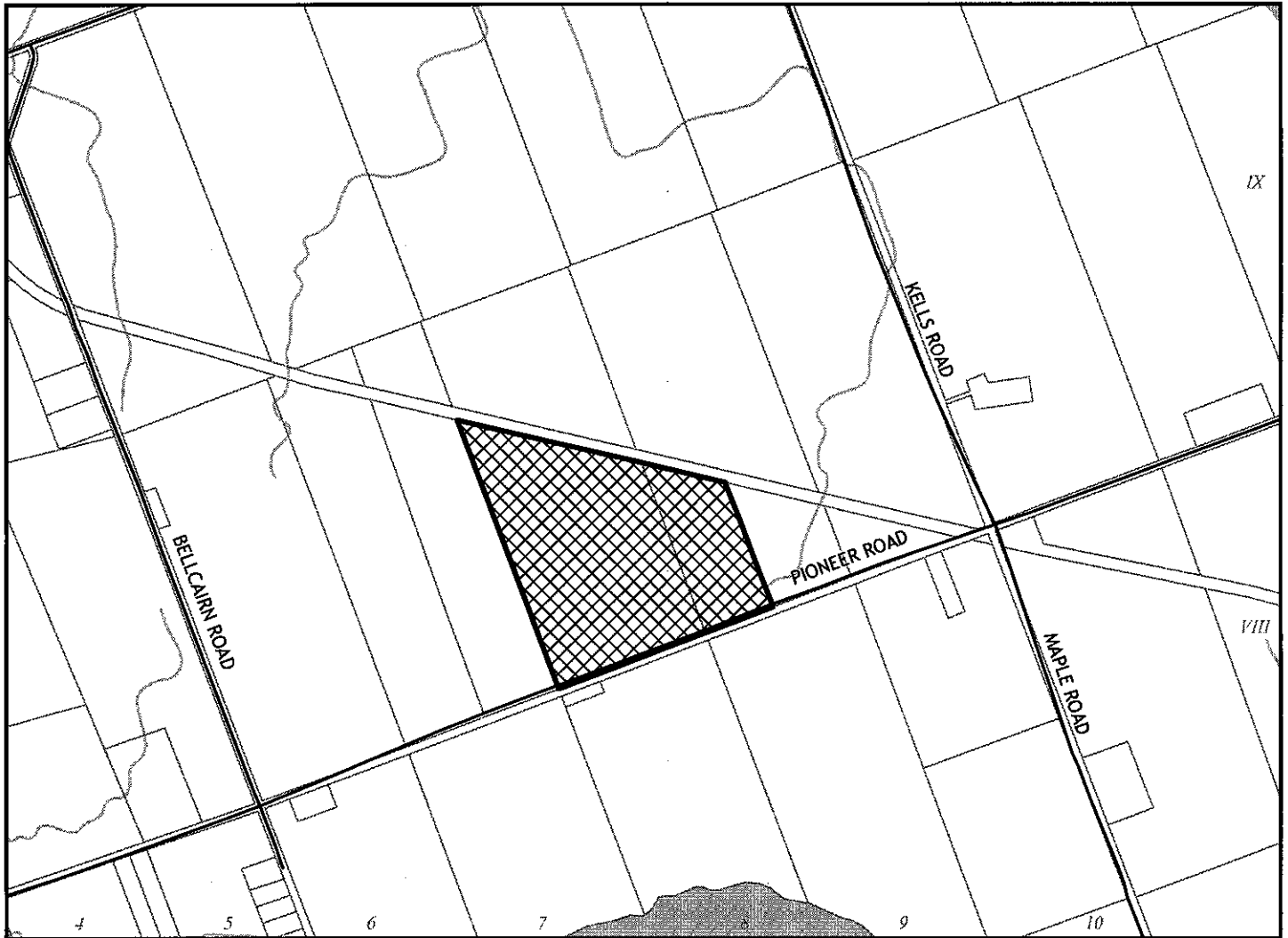
- a) *No more than eight people may be engaged in the home industry at any time, including the owner of the premises;*
 - b) *The maximum ground floor area of the assembly building shall be 1,465 square feet;*
 - c) *The maximum ground floor area of the storage building shall be 2,900 square feet;*
 - d) *The maximum ground floor area of the sawmill and wood shaving storage shall be 5,760 square feet;*
 - e) *Open storage of lumber shall be permitted but shall be limited in quantity to 110,000 lineal board feet and no open storage shall be visible from Pioneer Road; AND*
 - f) *Noise and dust that is normally related to the production of dimension lumber and production of wood pallets may be emitted by the pallet manufacturing business.*
3. In all other respects, the provisions of By-law 2014-25 and specifically Section 4.8 shall apply.

This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST, SECOND AND THIRD TIME and finally passed this 25th day of October 2016.


Mayor, Leo Jobin

Clerk-Treasurer, Linda Ringler

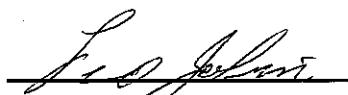
Schedule 'A-1'
By-law 2016-34
Part of Lots 8 & 9, Concession 9
Township of Chisholm

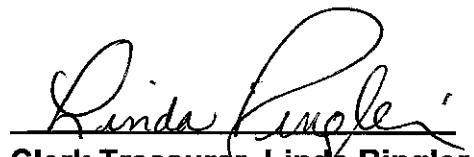


 Lands to be rezoned from the Agricultural (A) Zone
to the Agricultural Exception (A-2) Zone

This is Schedule 'A-1' to By-law 2016-34.

Passed this 25th day of October, 2016.


Mayor, Leo Jobin


Clerk Treasurer, Linda Ringler

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NO. 2017-27

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands legally described as Part 1, Plan 36R-13693 and Part 1, Plan 36R-14023 located in Part of Lot 8, Concession 15, in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owner of the subject lands has filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it advisable to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'A', to Zoning By-law No. 2014-25 as amended, is further amended by zoning lands described legally as Part 1, Plan 36R-13693 and Part 1, Plan 36R-14023 located in Part of Lot 8, Concession 15, in the Township of Chisholm from the Rural (RU) Zone to the Rural Exception Holding (RU-9)(H) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, Zoning By-law 2014-25 as amended, is further amended by adding the following new-subsection after section 8.1.8:

8.1.9 St. Pierre Dwelling

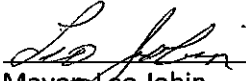
In addition to the applicable provisions and permitted uses of the Rural (RU) Zone, on lands described legally as Part 1, Plan 36R-13693 and Part 1, Plan 36R-14023, located in Part of Lot 8, Concession 15 and located in the RU-9(H) Zone, the minimum lot area shall be 21 hectares and a detached dwelling having a minimum floor area of 55.74 square metres (600 square feet) shall be permitted. Furthermore, all buildings and structures that existed on the day this By-law was passed shall be recognized and permitted but such existing buildings and structures shall not be utilized for habitable purposes on a permanent basis.

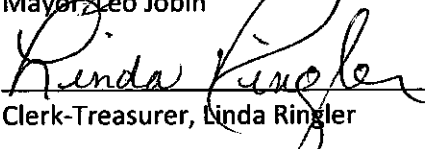
Lands located in the RU-9 Zone are subject to a Holding provision. The Holding provision shall restrict the construction of new buildings or the expansion of existing buildings. The Holding provision shall be lifted upon confirmation that a private septic system has been installed on the subject lands and upon the removal of the Holding provision, a building that existed on the day this By-law was passed may be converted to a dwelling unit subject to compliance with the Ontario Building Code.

3. In all other respects, the provisions of By-law 2014-25 and specifically Section 4.8 shall apply.

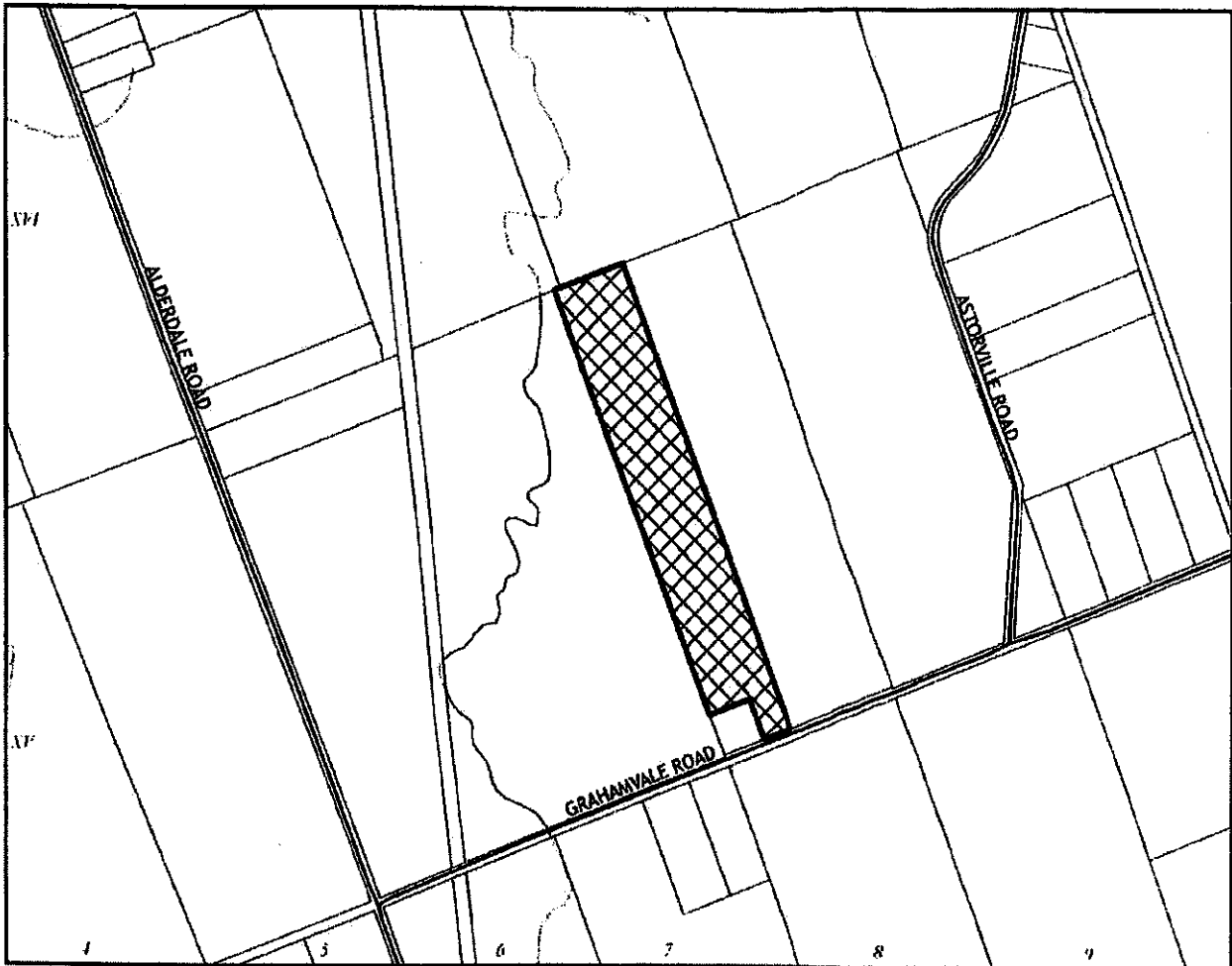
This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST, SECOND AND THIRD TIME and finally passed this 26th day of September, 2017.


Mayor, Leo Jobin


Clerk-Treasurer, Linda Ringler

Schedule 'A-1'
By-law 2017-27
Part of Lot 8, Concession 15
Township of Chisholm

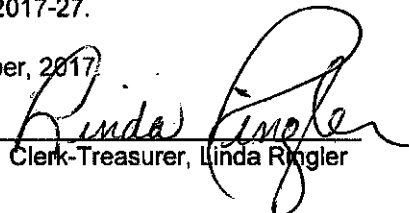


 Lands to be rezoned from the Rural (RU) Zone
to the Rural Exception (RU-9) Zone

This is Schedule 'A-1' to By-law 2017-27.

Passed this 26th day of September, 2017


Mayor, Leo Jobin


Clerk-Treasurer, Linda Ringler

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM

BY-LAW NO. 2020-25

(JANTZI ZBA – July 13th, 2020)

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands located in Lot 18, Concession 11 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owners of the subject lands have filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it appropriate to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Zoning By-law No. 2014-25 as amended, is further amended by deleting Section 8.1.8, and replacing it with the following new sub-section:

8.1.8 Steel Preparation and Sales Business

Notwithstanding the regulations of Section 4.8, Home Industry, on lands located in Lot 18, Concession 11 and located in the RU-8 Zone, a steel preparation and sales business shall be a permitted home industry accessory to a detached residential dwelling subject to the following regulations:

- a) *Total number of detached buildings that may comprise the home industry: 3*
- b) *Total floor area of Building One (steel storage and preparation building): 636.94 m² (6,856 ft²)*
- c) *Total floor area of Building Two (telephone building): 7.43 m² (80 ft²)*
- d) *Total floor area of Building Three (generator building): 13.93 m² (150 ft²)*

For the purpose of the RU-8 Zone the floor area of Building One (steel storage and preparation building) shall include an attached accessory office with a maximum floor area of 38 m². Furthermore, the maximum floor area that may be utilized for steel preparation shall be 278.7 m² 3,000 ft².

For the purpose of the RU-8 Zone, a steel preparation and sales business shall be limited to the cutting, bending and shaping of steel products manufactured elsewhere as well as the accessory sale of steel roofing and cladding accessories. The steel products sold from the business shall primarily serve the regional construction market for roofing steel and siding.

In addition, in the RU-8 Zone, there shall be no outdoor storage of products or roofing materials and the buildings housing and comprising the business shall not be located in the front yard and shall maintain a minimum setback from the west interior side lot line of 300 metres and 30 metres from the east interior side lot line.

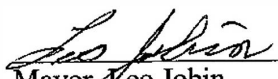
In addition, in the RU-8 Zone, the business shall employ no more than three people in addition to the owner and either the owner or an employee must reside on the lands subject to the RU-8 Zone.

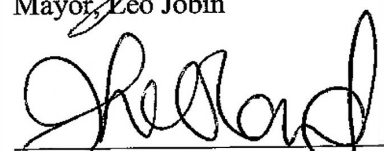
Furthermore, the land and buildings subject to these provisions shall also be subject to a site plan agreement which will stipulate additional provisions to be adhered to by the owner/operator.

2. In all other respects, the provisions of By-law 2014-25, as amended, shall apply.

This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST, SECOND, THIRD TIME and finally passed this 14th day of July 2020.


Mayor, Leo Jobin


CAO Clerk-Treasurer, Jenny Leblond

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NO. 2018-06

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands described legally as Part 1, Plan 36R-14144 located in Part of Lot 2, Concession 13, together with the remainder of Lot 2, Concession 13 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owner of the subject lands has filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it advisable to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

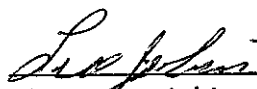
1. Schedule 'A', to Zoning By-law No. 2014-24 as amended, is further amended by zoning lands described legally as Part 1, Plan 36R-14144, located in Part of Lot 2, Concession 13, in the Township of Chisholm from the Rural Exception (RU-5) Zone to the Rural (RU) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, Schedule 'A' to Zoning By-law No. 2014-24 as amended, is further amended by zoning all of the remainder of Part 2, Concession 13 in the Township of Chisholm from the Rural Exception (RU-5) Zone to the Rural (RU) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
3. And Further, Zoning By-law 2014-25 as amended, is further amended by deleting Section 8.1.5 and replacing it with the following:

8.1.5 Reserved
4. In all other respects, the provisions of By-law 2014-25 shall apply.

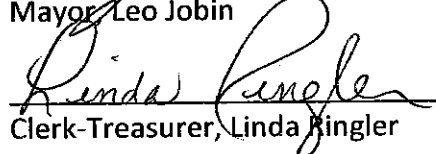
This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 13th day of February, 2018.

READ A THIRD TIME and finally passed this 13th day of February, 2018.

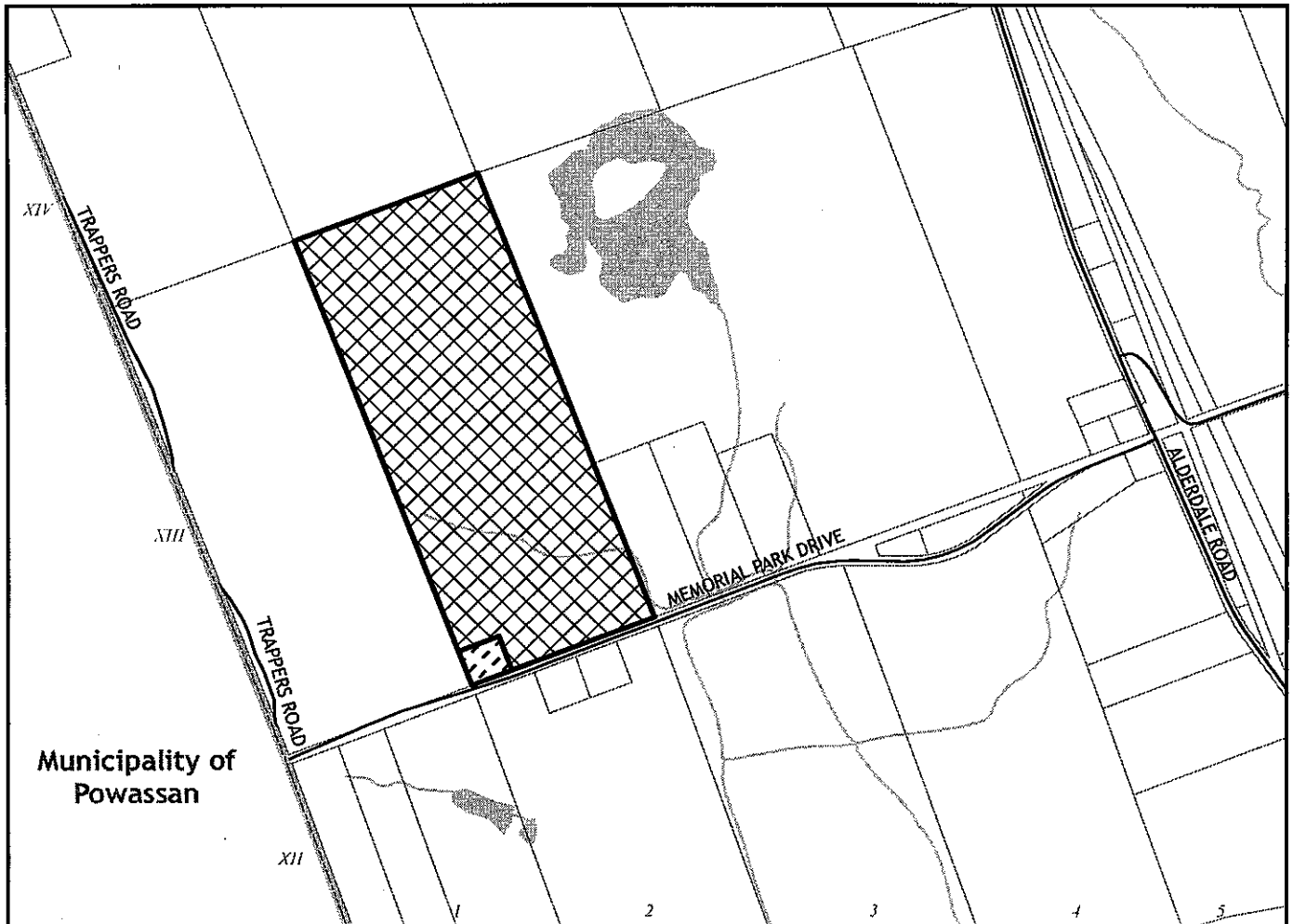



Mayor, Leo Jobin




Clerk-Treasurer, Linda Ringler

Schedule 'A-1'
By-law 2018-06
Lot 2, Concession 13
Township of Chisholm

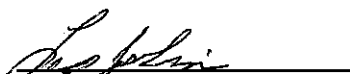


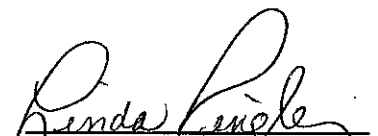
 Lands to be rezoned from the Rural Exception (RU-5) Zone to the Rural (RU) Zone

 Lands to be rezoned from the Rural Exception (RU-5) Zone to the Rural (RU) Zone

This is Schedule 'A-1' to By-law 2018-06

Passed this 13th day of February, 2018.


Mayor


Clerk-Treasurer

**CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NUMBER 2020-31**

(Amish School Temporary Use – September 18, 2020)

***BEING A BY-LAW TO AMEND BY-LAW NO. 2014-25, AS AMENDED, THE ZONING
BY-LAW FOR THE TOWNSHIP OF CHISHOLM WITH RESPECT TO LANDS
LOCATED IN PART OF LOT 10, CONCESSION 9, IN THE TOWNSHIP OF
CHISHOLM.***

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass Temporary Use By-laws to regulate the use of land pursuant to Section 39 of the Planning Act, 1990;

AND WHEREAS the owner of the subject lands has filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it advisable to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'B', to Zoning By-law No. 2014-24 as amended, is further amended by zoning lands described legally as Part 1, Plan 36R-12417 and located in Part of Lot 10, Concession 9, in the Township of Chisholm from the Agricultural (A) Zone to the Agricultural Exception (A-5) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, Zoning By-law 2014-25 as amended, is further amended by adding the following new-subsection after section 8.2.4:

8.2.5 Temporary Use By-law (Amish School)

Notwithstanding Section the permitted uses and regulations of the Agricultural (A) Zone, on lands described legally as Part 1, Plan 36R-12417 and located in Part of Lot 10, Concession 9 and located in the A-5 Zone, a parochial school shall be permitted as an accessory use to the existing residential for a 3-year period beginning on the effective date of this zoning by-law amendment and shall be subject to the following regulations:

- a) Maximum floor area of school: 72 m²*
- b) Minimum Setback from Front Lot Line: 45 m*
- c) Minimum Setback from Rear Lot Line: 15 m*

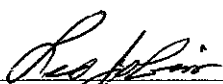
Furthermore, the parochial school that is authorized in the A-5 Zone shall be serviced by Class 1 septic systems (privies). Upon expiry of this temporary use by-law the school building and privies will be removed from the lands subject to this amendment.

3. In all other respects, the provisions of By-law 2014-25 shall apply.


This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 22nd day of September 2020.

READ A THIRD TIME and finally passed this 22nd day of September 2020.



Mayor Leo Jobin



CAO Clerk-Treasurer, Jennistine Leblond

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM

BY-LAW NO. 2021-06

(Klammer/Troyer Draft ZBA – February 9th, 2021)

Being a By-law to amend By-law No. 2014-05, as amended, the Zoning By-law for the Township of Chisholm with respect to lands described legally as Part 1, Plan 36R-6399 and Part 1, Plan 36R-4662, both of which are located in Part of Lot 5, Concession 12 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owners of the subject lands have filed an application with the Township of Chisholm to amend By-law No. 2014-05, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it appropriate to amend By-Law 2014-05, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'B', to Zoning By-law No. 2014-24 as amended, is further amended by zoning lands described legally as Part 1, Plan 36R-6399 and Part 1, Plan 36R-4662, both of which are located in Part of Lot 5, Concession 12 in the Township of Chisholm from the Rural (RU) Zone to the Rural Exception (RU-10) and (RU-11) Zones as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And furthermore Zoning By-law No. 2014-05 as amended, is further amended by adding the following new sub-sections after sub-section 8.1.9:

8.1.10 Part 1, Plan 36R-4662 (Troyer)

On lands described legally as Part 1, Plan 36R-4662 and located in Part Lot 5, Concession 12 and located in the RU-10 Zone, the following site-specific provisions shall apply:

a) Minimum Lot Area:	0.53 ha
b) Minimum Lot Frontage:	75 m
c) Maximum Number of Detached Accessory Buildings:	3
d) Maximum Number of Accessory Buildings used to House Livestock:	1
e) Maximum Combined Floor Area of all Detached Accessory Buildings:	60 m ²
f) Minimum Interior Side Yard Requirement:	5 m

For the purpose of the RU-10 Zone, Section 4.25.5 shall not apply and shall be limited to the keeping of no more than 1 horse for primary means of transportation and due to the size of the property no other livestock shall be permitted.

8.1.11 Part 1, Plan 36R-6399 (Klammer)

On lands described legally as Part 1, Plan 36R-6399 and located in Part Lot 5, Concession 12 and located in the RU-11 Zone, the following site-specific provisions shall apply:

a) Minimum Lot Area:	1.46 ha
b) Minimum Lot Frontage:	215 m
d) Maximum Number of Accessory Buildings used to House Livestock:	1
e) Maximum Floor Area of Building Used to House Livestock:	54 m ²
f) Minimum Front Yard Requirement:	6 m

For the purpose of the RU-11 Zone, Section 4.25.5 shall not apply and an existing non-conforming hobby farm shall be a permitted use and shall be defined as the keeping of no more than 3 domestic livestock. For the purpose of the RU-11 Zone, a detached garage shall be a permitted use in the front yard, but livestock shall not be housed in any structure located in the front yard.

3. In all other respects, the provisions of By-law 2014-05, as amended, shall apply.

This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 9th day of February 2021.

READ A THIRD TIME and finally passed this 9th day of February 2021.

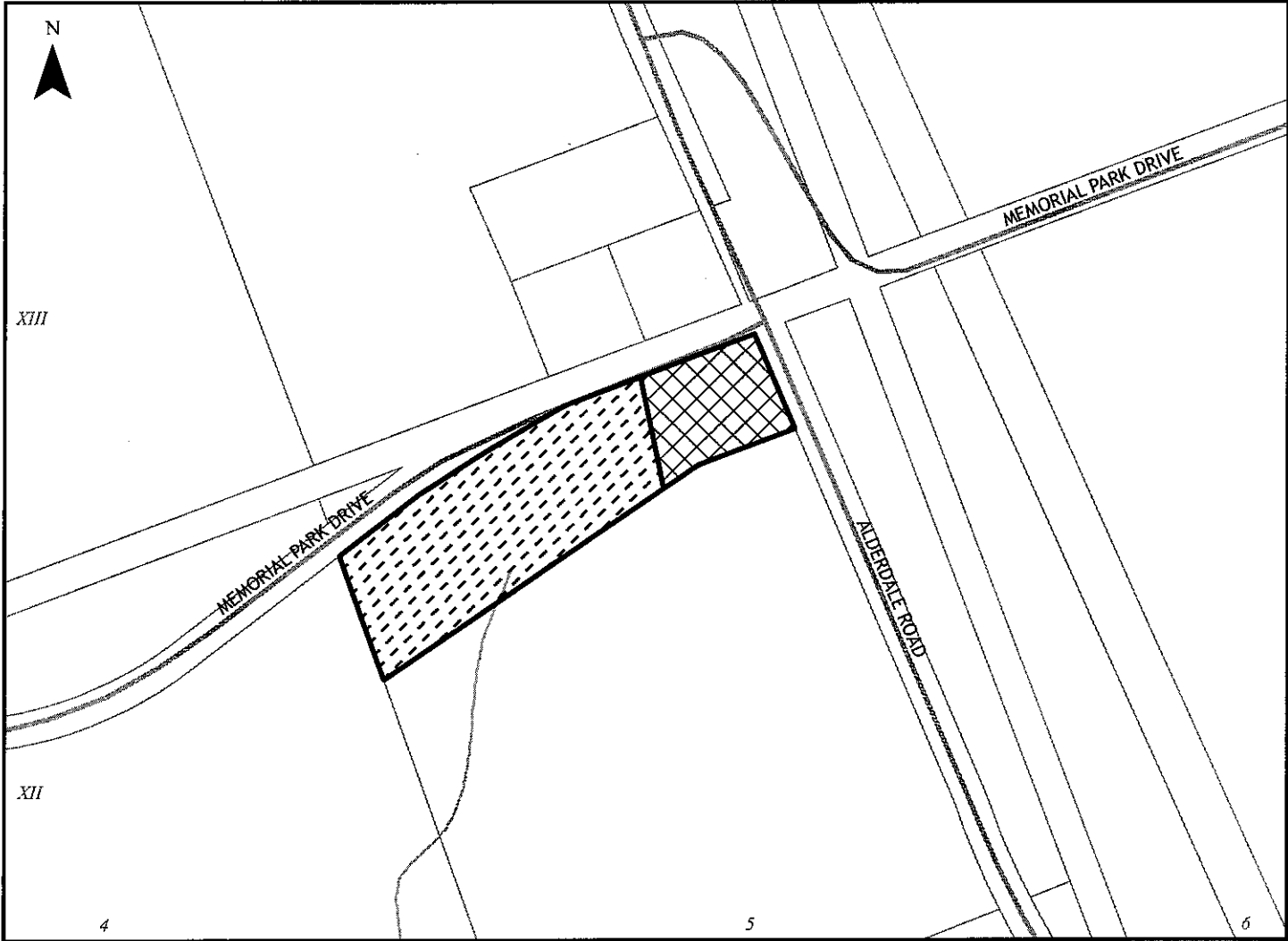


Mayor, Gail Degagne



CAO Clerk-Treasurer, Jennistine Leblond

Schedule 'A-1'
By-law 2021-06
Part of Lot 5, Concession 12
Township of Chisholm



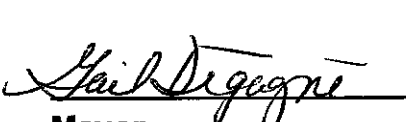
Lands to be rezoned from the Rural (RU) Zone
to the Rural Exception (RU-10) Zone

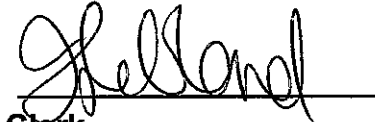


Lands to be rezoned from the Rural (RU) Zone
to the Rural Exception (RU-11) Zone

This is Schedule 'A-1' to By-law 2021-06

Passed this 9th day of February, 2021.


Mayor


Clerk

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NO. 2022-27

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands located in Lot 18, Concession 10 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws and Temporary Use By-laws to regulate the use of land pursuant to Sections 34 and 39 of the Planning Act, 1990;

AND WHEREAS the owners of the subject lands have filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it appropriate to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'B', to Zoning By-law No. 2014-25 as amended, is further amended by zoning lands located in Lot 18, Concession 10, in the Township of Chisholm from the Rural (RU) Zone to the Rural Exception Holding (RU-12) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, Section 8.1 to Zoning By-law 2014-25 as amended, is further amended by adding the following new-subsection after section 8.1.11:

8.1.12 Wood Pallet Home Industry

Notwithstanding the regulations of Section 4.8, Home Industry, on lands located in Lot 18, Concession 10 and located in the RU-12 Zone, a wood pallet production business shall be a permitted home industry accessory to a detached residential dwelling subject to the following regulations:

- a) No more than 6 people may be engaged in the home industry at anytime, including the owner of the premises.*
- b) Total number of detached buildings that may be utilized for the home industry: 2*
- c) Total floor area of Building One (workshop): 290 m²
(3,120 ft²)*
- d) Total floor area of Building Two (storage): 279 m²
(3,000 ft²)*

For the purpose of the RU-12 Zone, the dwelling which existed on the day this By-law comes into effect may be demolished and the home industry shall still be a permitted use provided the main dwelling is replaced within 3 years of its demolition. In addition, an accessory dwelling unit shall be a permitted use on the upper floor of a detached garage and may be constructed prior to the main dwelling provided the main dwelling is constructed within 3 years of its demolition. The maximum ground floor area of the detached garage shall be 111.5 m² (1,200 ft²) and the maximum total floor area of an accessory dwelling unit shall be 111.5 m² (1,200 ft²).

*For the purpose of the RU-12 Zone, a wood pallet production business shall be limited to the **indoor** storage of dimension lumber and the production, storage and sale of wood pallets.*

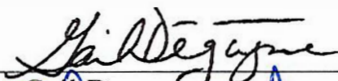
*In addition, in the RU-12 Zone, there shall be no outdoor storage, raw materials or waste materials and all equipment shall be located in Building One (workshop). There shall be no storage of logs nor is a sawmill a permitted use or accessory use. **Outdoor** storage of assembled pallets only, may be permitted if they are located behind the workshop AND are not visible from Chiswick Line.*

3. Furthermore, the land and buildings subject to these provisions shall also be subject to a site plan agreement which stipulate additional provisions to be adhered to by the owner/operator.
4. And Further, the use permission and regulations authorized by the Agricultural Exception (A-2) Zone, shall upon the passage of this By-law, become a temporary use which shall cease operation on or before **July 15, 2022**.
5. In all other respects, the provisions of By-law 2014-25, as amended, shall apply.

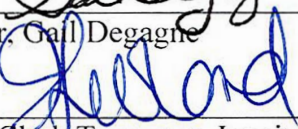
This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 24th day of May 2022.

READ A THIRD TIME and finally passed this 24th day of May 2022.

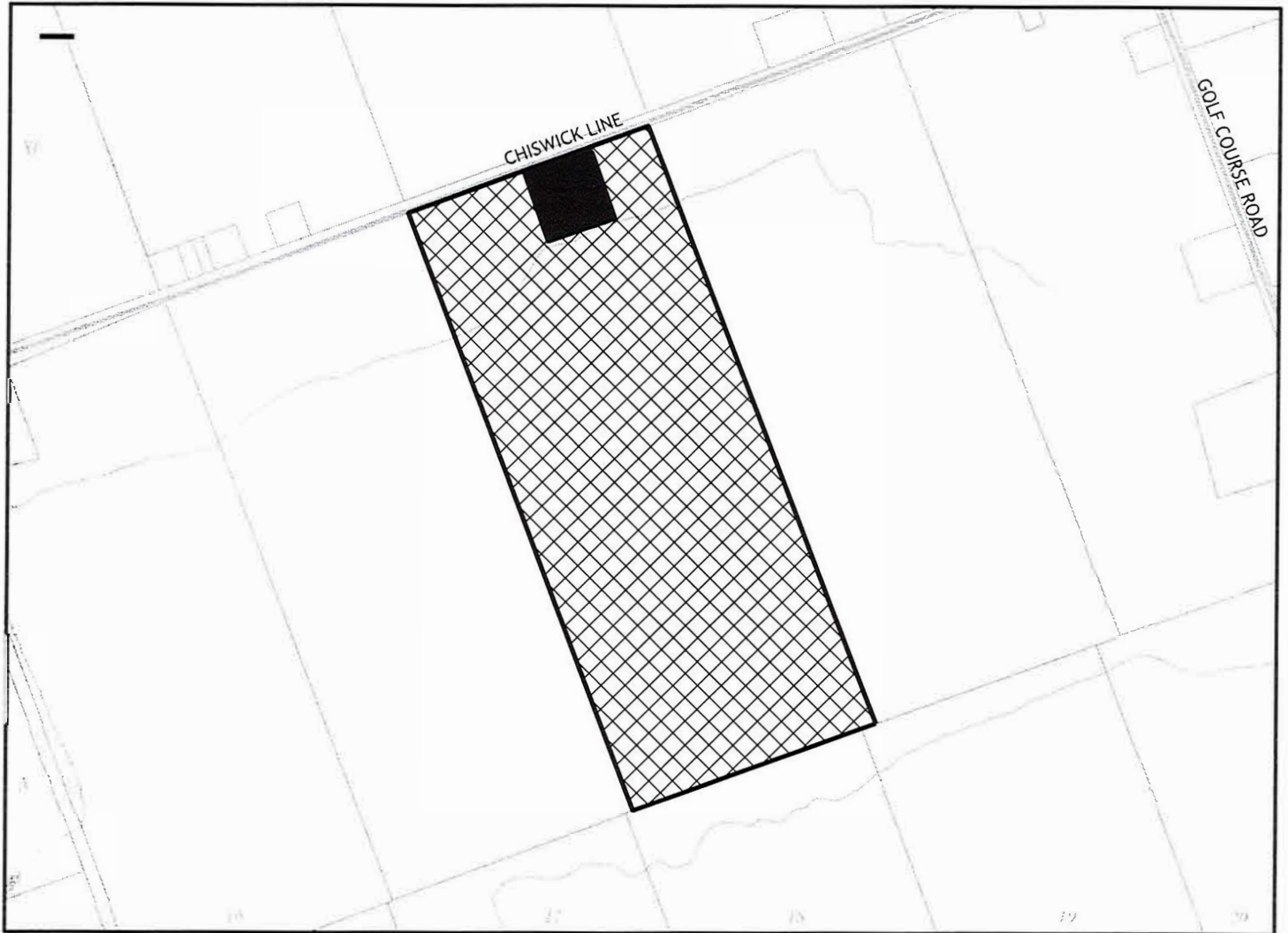


Mayor, Gail Degagne



CAO Clerk Treasurer, Jennistine Leblond

Schedule 'A-1'
By-law 2022-27
Lot 18, Concession 10
Township of Chisholm



Subject Property



Lands to be rezoned from the Rural (RU) Zone
to the Rural Exception (RU-12) Zone
(approximately 2 acres)

This is Schedule 'A-1' to By-law 2022-27

Passed this 24th day of May, 2022.

A handwritten signature in black ink, reading 'Gail Degagne'.

Mayor, Gail Degagne

A handwritten signature in blue ink, reading 'Jennistine Leblond'.

CAO Clerk Treasurer, Jennistine Leblond

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NO. 2022-32

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands located in Lot 21 and 22, Concession 5 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws and Temporary Use By-laws to regulate the use of land pursuant to Sections 34 and 39 of the Planning Act, 1990;

AND WHEREAS the owners of the subject lands have filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it appropriate to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'C', to Zoning By-law No. 2014-25 as amended, is further amended by zoning lands located in Lot 21 and 22, Concession 5 in the Township of Chisholm from the Environmental Protection (EP) Zone to the Environmental Protection Exception (EP-2) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And further, to section 8.5 to Zoning By-law 2014-25 as amended, is further amended by adding the following new-subsection 8.5.2:

8.5.2 Environmental Protection Exception Two (EP-2) Zone

Notwithstanding the permitted uses or provisions of the EP Zone, on lands located in Lot 21 and 22, Concession 5 in the Township of Chisholm and located in the EP-2 Zone, an accessory building shall be permitted, subject to the following regulations:

- a) *Total floor area of an accessory building:* 142.7 m²(1536 ft²)
- b) *The use shall be strictly for storage and shall not house animals*
- c) *That the building be located no more than 30 m within the boundary of the EP-2 Zone.*

In addition, no other development or site alterations shall be permitted in the EP-2 Zone.

3. In all other respects, the provisions of By-law 2014-25, as amended, shall apply.

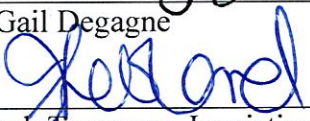
This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 28th day of June 2022.

READ A THIRD TIME and finally passed this 28th day of June 2022.



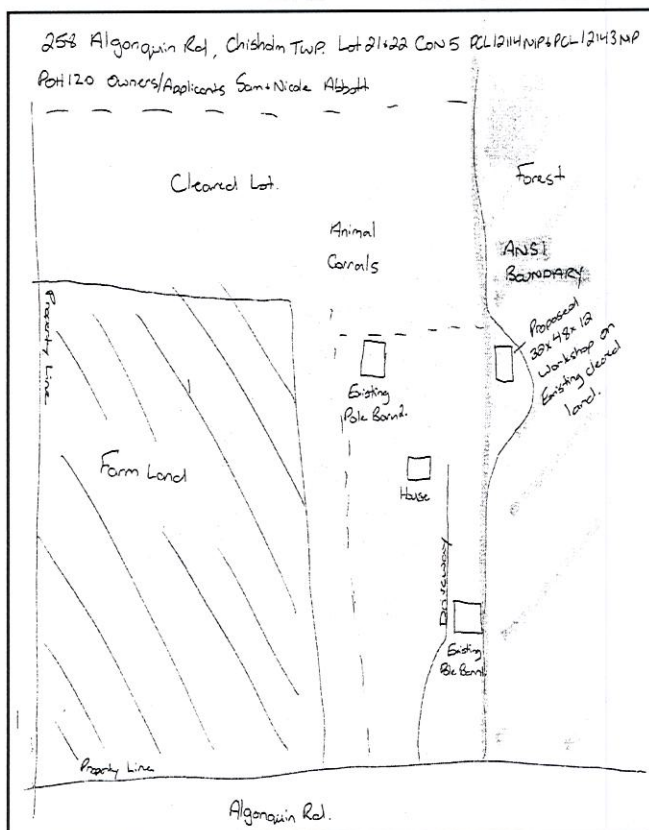
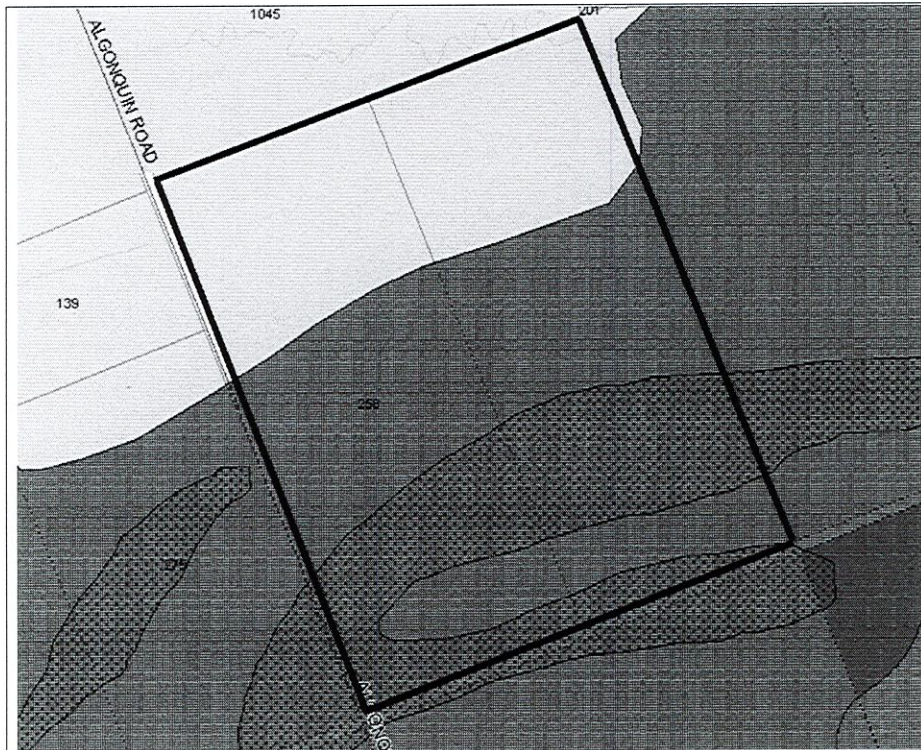
Mayor, Gail Degagne



CAO Clerk-Treasurer, Jennistine Leblond

Schedule 'A-1'
By-law 2022-32
Lot 21 and 22, Concession 5 Township of Chisholm
258 Algonquin Road

Subject Property EP-2 Zone



This is Schedule 'A-1' to
By-law 2022-32

Passed this 28th day of June 2022.

Gail Degagne

Mayor, Gail Degagne

Jennistine Leblond

CAO Clerk Treasurer, Jennistine Leblond

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NO. 2022-33

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands located in Part Lot 14, Concession 13 REM PCL 19474 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws and Temporary Use By-laws to regulate the use of land pursuant to Sections 34 and 39 of the Planning Act, 1990;

AND WHEREAS the owners of the subject lands have filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it appropriate to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'A', to Zoning By-law No. 2014-25 as amended, is further amended by zoning lands located in Part Lot 14, Concession 13 REM PCL 19474 in the Township of Chisholm from the Environmental Protection (EP) Zone to the Environmental Protection Exception (EP-1) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, add section 8.5 to Zoning By-law 2014-25 as amended, is further amended by adding the following new-subsection 8.5.1:

8.5.1 Agri-tourism Cabin Establishment

Notwithstanding the permitted uses or provisions of the EP Zone, on lands located in Part Lot 14, Concession 13 REM PCL 19474 in the Township of Chisholm and located in the EP-1 Zone, an Agri-tourism Cabin Establishment utilizing 3 small cabins, a kitchen trailer, pavilion, small office, and greenhouse shall be a permitted tourist establishment, accessory to a detached residential dwelling and agriculture use, subject to the following regulations:

- a) Total number of detached buildings that may be utilized for accommodations shall be no more than 3 and no more than 10.25m² in area.*
- b) Total floor area of a Pavilion: 65 m² (700 ft²)*
- c) Total floor area of Greenhouse: 24.15 m² (260 ft²)*
- d) Tow behind Kitchen Trailer: 20ft by 8ft by 7ft*
- e) Total floor area of a small office: 10 m² (107.6 ft²)*

For the purpose of the EP-1 Zone, the Agri-tourism Cabin Establishment shall operate as an accessory use to a residential dwelling.

For the purpose of the EP-1 Zone, the continuation of an agriculture use, shall be permitted, with a barn, chicken house and animal pen. No more agriculture building shall be permitted on the lot.

In addition the EP-1 Zone shall not alter or build any buildings within the Provincially Significant Wetland found on the property. The existing buildings within the adjacent lands to the Provincially Significant Wetland shall remain permitted.

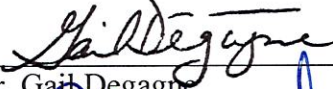
3. Furthermore, the land and buildings subject to these provisions shall also be subject to a site plan agreement which stipulate additional provisions to be adhered to by the owner/operator.

4. In all other respects, the provisions of By-law 2014-25, as amended, shall apply.

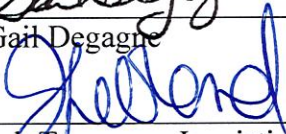
This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 28th day of June 2022.

READ A THIRD TIME and finally passed this 28th day of June 2022.

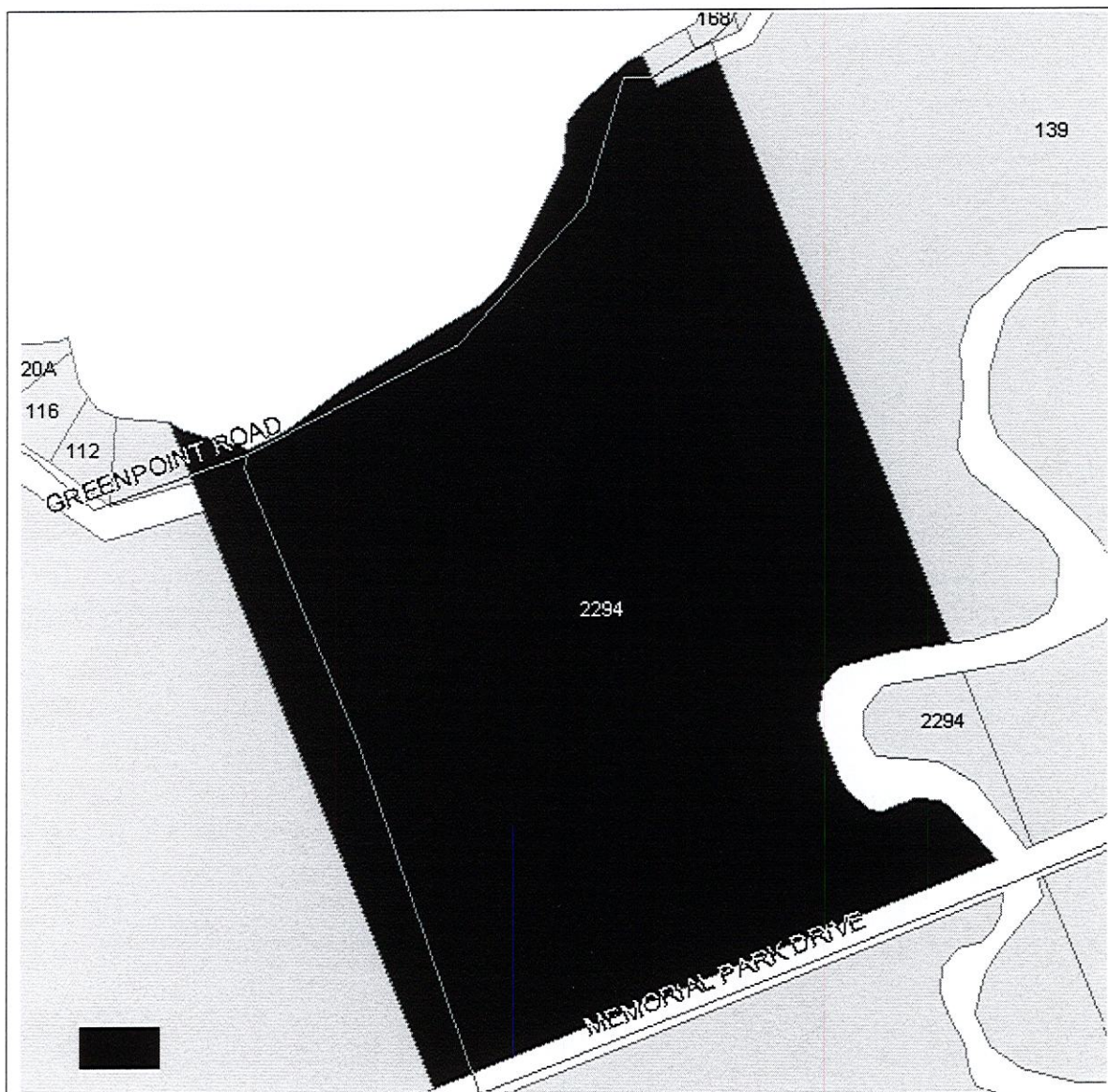


Mayor, Gail Degagne



CAO Clerk Treasurer, Jennistine Leblond

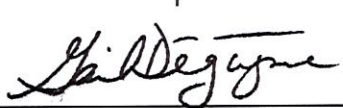
Schedule 'A-1'
By-law 2022-33
Part Lot 14, Concession 13 Township of Chisholm
2294 Memorial Park Drive




Subject Property

This is Schedule 'A-1' to By-law 2022-33

Passed this 28th day of June 2022.



Mayor, Gail Degagne



CAO Clerk Treasurer, Jennistine Leblond

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW NO. 2023-15

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands located in Part Lots 12 and 13, Concession 13 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owners of the subject lands have filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it appropriate to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Schedule 'B', to Zoning By-law No. 2014-25 as amended, is further amended by zoning lands located in Part of Lots 12 and 13, Concession 13, in the Township of Chisholm from the Rural (RU) Zone to the Rural Exception Holding (RU-13) Zone as shown on Schedule 'A-1' attached hereto and forming part of this By-law.
2. And Further, Section 8.1 to Zoning By-law 2014-25 as amended, is further amended by adding the following new-subsection after section 8.1.12:

8.1.13 Home Industry Contractor Yard for Concrete Forming Business

Notwithstanding the regulations of Section 4.8 b), c), and d), Home Industry, on lands located in Part of Lots 12 and 13, Concession 13 and located in the RU-13 Zone, a contractor yard and storage for concrete forming shall be a permitted home industry accessory to a detached residential dwelling and agricultural use subject to the following regulations:

- a) Total number of detached buildings that may be partially utilized for the home industry: 1*
- b) Total floor area of detached building that may be partially used for home industry: 557.4 m² (6,000 ft²)*
- c) Total floor area within detached storage building referenced in a) and b) that may be utilized for home industry: 46.5 m² (500 ft²)*
- d) Total area that may be utilized for outside storage for home industry: 46.5 m² (500 ft²)*
- e) Minimum front yard setback for home industry: 45.72 m (150 ft)*
- f) Minimum interior side yard setback for home industry: 152.4 m (500 ft)*

For the purpose of the RU-13 Zone, a dwelling shall be in a habitable condition prior to the establishment of the home industry.

For the purpose of the RU-13 Zone, a contractor yard for a concrete forming business shall be limited to the seasonal storage of up to 800 concrete forms comprised in up to 40 storage cages inside or outside. Fenced outside storage shall be located directly behind the north-facing wall of the detached building.

In addition, in the RU-13 Zone, there shall be no production of concrete nor shall the storage of waste materials or heavy equipment be permitted with the exception of one trailer used to transport concrete forms.

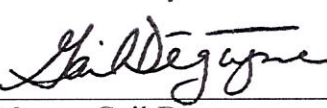
Furthermore, the land and buildings subject to these provisions shall also be subject to a site plan agreement which will stipulate additional provisions to be adhered to by the owner/operator.

3. In all other respects, the provisions of By-law 2014-25, as amended, shall apply.


This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 11th day of April 2023.

READ A THIRD TIME and finally passed this 11th day of April 2023.

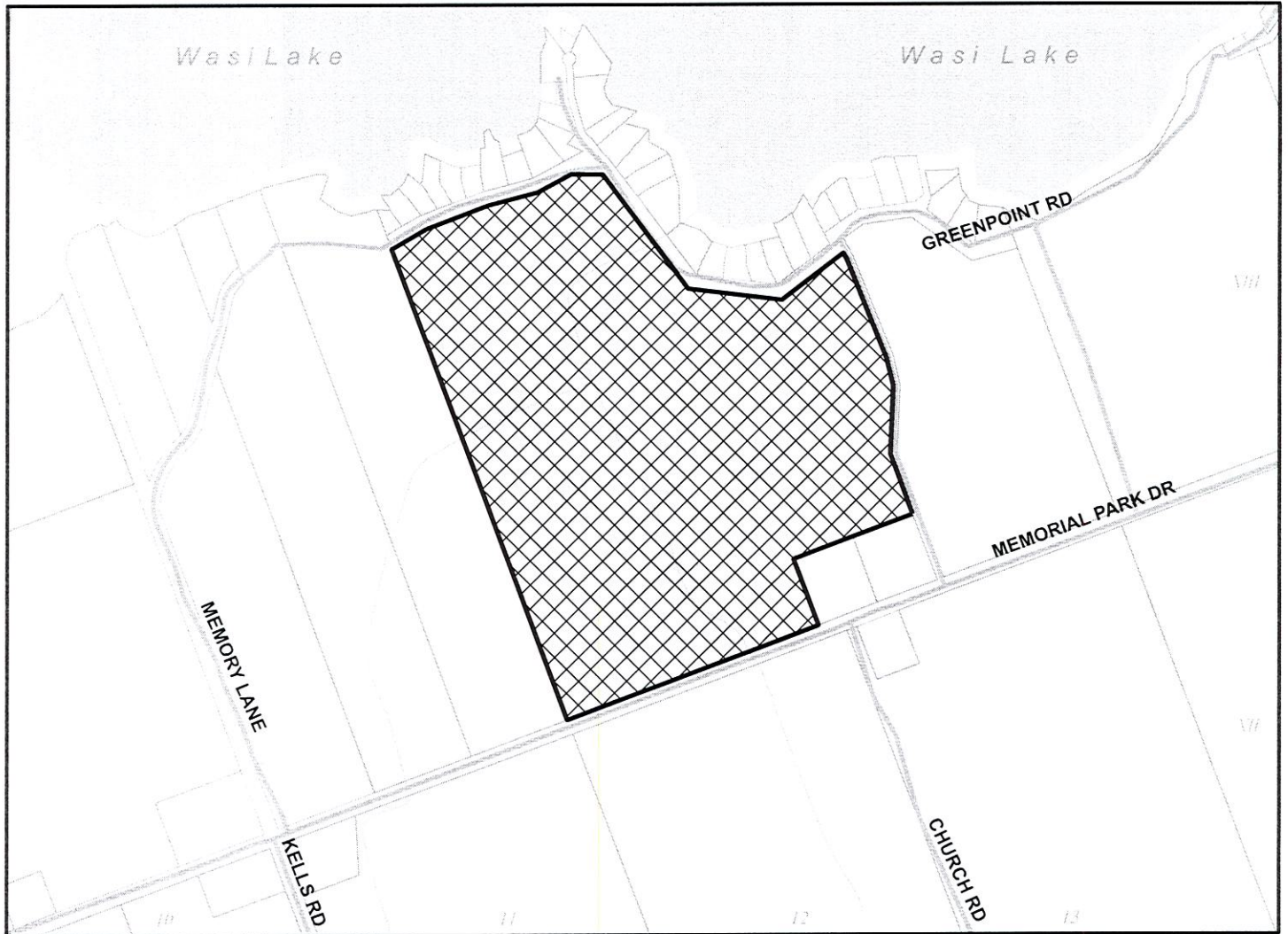


Mayor, Gail Degagne



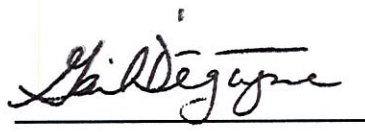
Clerk, Jennistine Leblond

Schedule 'A-1'
By-law 2023-15
Part of Lots 12 & 13, Concession 13
Township of Chisholm




Lands to be rezoned from the Rural (RU) Zone
to the Rural Exception (RU-13) Zone

This is Schedule 'A-1' to By-law 2023-15
Passed this 11th day of April, 2023.



Mayor



Clerk

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
BY-LAW 2023-26

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands located in Lot 18, Concession 11 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass By-laws to regulate the use of land pursuant to Section 34 of the Planning Act, 1990;

AND WHEREAS the owners of the subject lands have filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it appropriate to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Zoning By-law No. 2014-25 as amended, is further amended by deleting Section 8.1.8, and replacing it with the following new sub-section:

8.1.8 Steel Preparation and Sales Business

Notwithstanding the regulations of Section 4.8, Home Industry, on lands located in Lot 18, Concession 11 and located in the RU-8 Zone, a steel preparation and sales business shall be a permitted home industry accessory to a detached residential dwelling subject to the following regulations:

- a) Total number of detached buildings that may comprise the home industry:
2*
- b) Total floor area of Building One (steel storage and preparation building):
636.94 m² (6,856 ft²)*
- c) Total floor area of Building Two (power unit shed):
13.93 m² (150 ft²)*

For the purpose of the RU-8 Zone the floor area of Building One (steel storage and preparation building) shall include an attached accessory office with a maximum floor area of 38 m² and may also include one bathroom facility which shall be connected to a Class 4 septic system. Furthermore, the maximum floor area that may be utilized for steel preparation shall be 278.7 m² 3,000 ft².

For the purpose of the RU-8 Zone, a steel preparation and sales business shall be limited to the cutting, bending and shaping of steel products manufactured elsewhere as well as the accessory sale of steel roofing and cladding accessories. The steel products sold from the business shall primarily serve the regional construction market for roofing steel and siding.

In addition, in the RU-8 Zone, there shall be no outdoor storage of products or roofing materials with the exception of one area for the outside storage of wood strapping which shall be located behind the rear wall of Building One and shall not exceed 3.35 m² in area and 1.22 metres in height.

Furthermore, the buildings housing and comprising the business shall not be located in the front yard and shall maintain a minimum setback of 30 metres from the east interior side lot line.

In addition, in the RU-8 Zone, the business shall employ no more than six people in addition to the owner and either the owner or an employee must reside in the existing dwelling located on the lands subject to the RU-8 Zone.

Furthermore, the land and buildings subject to these provisions shall also be subject to a site plan agreement which will stipulate additional provisions to be adhered to by the owner/operator.

2. In all other respects, the provisions of By-law 2014-25, as amended, shall apply.

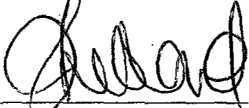
This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 28th day of November 2023.

READ A THIRD TIME and finally passed this 28th day of November 2023.



Mayor, Gail Degagne



CAO Clerk, Jennistine Leblond

THE CORPORATION OF THE TOWNSHIP OF CHISHOLM
TEMPORARY USE BY-LAW NO. 2024-07

Being a By-law to amend By-law No. 2014-25, as amended, the Zoning By-law for the Township of Chisholm with respect to lands located in Lot 18, Concession 10 in the Township of Chisholm.

WHEREAS the Council of the Corporation of the Township of Chisholm is empowered to pass Zoning By-laws and Temporary Use Zoning By-laws to regulate the use of land pursuant to Sections 34 and 39 of the Planning Act, 1990;

AND WHEREAS the owners of the subject lands have filed an application with the Township of Chisholm to amend By-law No. 2014-25, as amended;

AND WHEREAS the Council of the Corporation of the Township of Chisholm deems it appropriate to amend By-Law 2014-25, as amended;

NOW THEREFORE the Council of the Corporation of the Township of Chisholm enacts as follows:

1. Section 8.1.12 to Zoning By-law 2014-25 as amended, is hereby deleted and replaced with the following new section:

8.1.12 Wood Pallet Home Industry

Notwithstanding the regulations of Section 4.8, Home Industry, on lands located in part of Lot 18, Concession 10 and located in the RU-12 Zone, a wood pallet production business shall be a permitted home industry on a temporary basis subject to the following regulations:

- a) *Total floor area of Building Authorized for Home Industry:*
290 m² (3,120 ft²)

For the purpose of the RU-12 Zone, the owner/operator of the home industry may or may not reside on the lands and or in the dwelling zoned to permit the home industry.


For the purpose of the RU-12 Zone, a wood pallet production business shall be limited to the indoor storage of dimension lumber and the production, storage and sale of wood pallets. In addition, in the RU-12 Zone, there shall be no outdoor storage of waste materials and all equipment shall be located within the authorized building/workshop. There shall be no storage of logs nor is a sawmill a permitted use or accessory use. Dimension lumber may be stored outdoors but shall be limited to lands directly behind and within 50 meters of the authorized building. Assembled pallets shall be loaded on the concrete pad to the east of the workshop.

2. Furthermore, the land and buildings subject to these provisions shall also be subject to a site plan agreement which will stipulate additional provisions to be adhered to by the owner/operator.
3. And furthermore, the use permission and regulations authorized by the Rural Exception (RU-12) Zone are temporary and the use shall cease operation on or before April 1, 2026, subsequent to which the use shall cease and desist and there shall be no claim of legal conformity under Section 34 (9) of the Planning Act.
4. And furthermore, that By-law 2022-27 is hereby repealed.
5. In all other respects, the provisions of By-law 2014-25, as amended, shall apply.

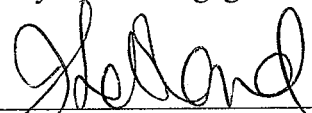
This By-law shall come into effect upon the date of passage hereof, subject to the provisions of Section 34 (30) and (31) of the Planning Act (Ontario).

READ A FIRST AND SECOND TIME on the 23rd day of April 2024.

READ A THIRD TIME and finally passed this 23rd day of April 2024.



Mayor, Gail Degagne



CAO Clerk Treasurer, Jennistine Leblond